

ADDENDUM No. 2

Date: February 22, 2024

To: All Bidders

From: **Jenkins•Peer Architects**
Charlotte, N.C.

Re: WCU Early Joyner Drive Infrastructure Package
JPA Project #: 20WCU777
SCO Project #: 22-24697-01B

NOTICE to BIDDERS:

Bidder is hereby notified that this Addendum shall hereby become a part of the Construction Documents and the official Contract Documents, and shall be attached to the Project Manual for the Project.

The following items are intended to revise and clarify the Drawings and the Project Manual.

The bidder shall see that their Sub-Bidders are in full receipt of the information contained herein.

General Note:

This Addendum includes the following groups and subsequent “items” referring to various parts of the Contract Documents. Note that some “items” may refer to Bulletin Drawings or new Specification Sections which are attached at the back of the Addendum.

PROJECT MANUAL & TECHNICAL SPECIFICATIONS DIVISIONS

No Changes

DRAWING SHEETS

- Item 1. C101B (Route of water relocation has been revised.)
- Item 2. C301B (Route of water relocation has been revised.)
- Item 3. C302B (Route of water relocation has been revised.)
- Item 4. C303B (Route of water relocation has been revised.)
- Item 5. C501B (Route of water relocation has been revised.)
- Item 6. C601B (Route of water relocation has been revised.)

RESPONSES TO RFI'S RECEIVED TO DATE:

- 1) Sheet C201B shows the fence behind the wall. The detail on sheet C921B shows the fence as if cored into the wall units. Which is correct?
The detail is correct.
- 2) Sheet C921B, detail D2.05, shows chain link fence to be 6'-0" tall. Sheet C921B, detail D2.08 shows the chain link fence on top of the wall to be 4'-0". That shown in D2.08 would be typical of safety fence at the top of walls. Which detail is correct for the height of the vinyl coated chain link fence?
The fence above retaining wall should be 4' in height.

- 3) Sheet C921B, detail C2.08 shows segmental wall units (like keystone units). The specification is titled "Segmental Wall Units"; and the specification addresses issues of construction of segmental wall units. However, the notes on the plans and the specification states that the basis of design for wall units is: Redi-Rock (Gravity Units); Vertiblock (Gravity Units); and Recon (Gravity Units). Will the wall be constructed as segmental wall units or as gravity wall units?

The walls are delegated design. The large units, as noted in the basis of design, should be priced and designed accordingly.

End of ADDENDUM No. 2

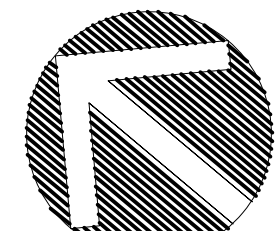
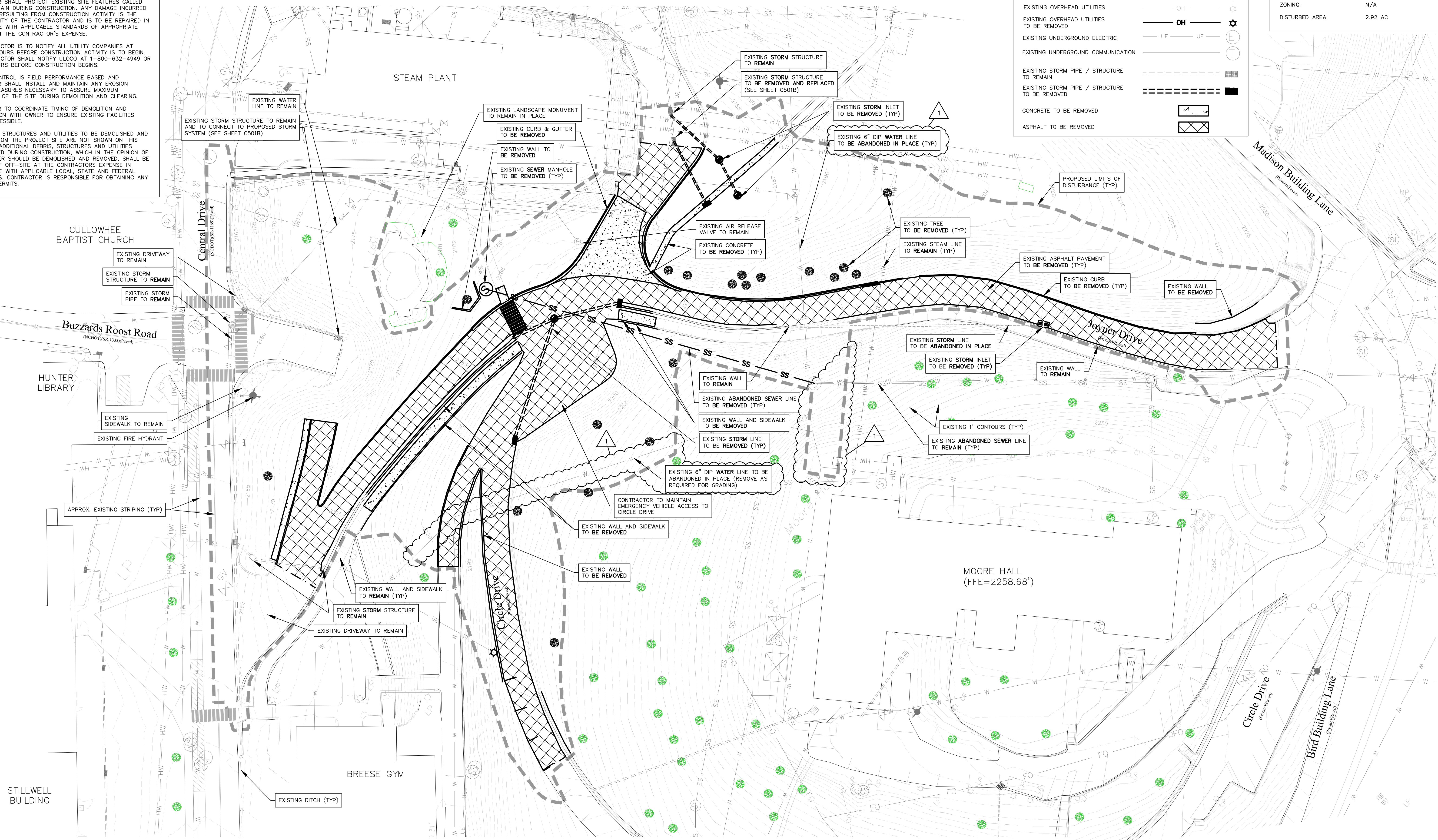
Attachments:

- Revised drawing sheets as noted above.

- NOTES
1. ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
 2. CONTRACTOR TO VERIFY WITH ENGINEER THAT THE REQUIRED GRADING/LAND DISTURBANCE AND DRIVEWAY PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
 3. ALL WORK MUST BE PERFORMED BY A NORTH CAROLINA LICENSED CONTRACTOR.
 4. TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS INSPECTIONS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDOING WORK.
 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES CALLED OUT TO REMAIN DURING CONSTRUCTION. ANY DAMAGE INCURRED DURING OR RESULTING FROM CONSTRUCTION ACTIVITY IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
 7. THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULOCO AT 1-800-632-4849 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
 8. EROSION CONTROL IS FIELD PERFORMANCE BASED AND CONTRACTOR SHALL INSTALL AND MAINTAIN ANY EROSION CONTROL MEASURES NECESSARY TO ASSURE MAXIMUM PROTECTION OF THE SITE DURING DEMOLITION AND CLEARING.
 9. CONTRACTOR TO COORDINATE TIMING OF DEMOLITION AND CONSTRUCTION WITH OWNER TO ENSURE EXISTING FACILITIES REMAIN ACCESSIBLE.
 10. ALL DEBRIS, STRUCTURES AND UTILITIES TO BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE ARE NOT SHOWN ON THIS PLAN. ANY ADDITIONAL DEBRIS, STRUCTURES AND UTILITIES ENCOUNTERED DURING CONSTRUCTION, WHICH IN THE OPINION OF THE ENGINEER SHOULD BE DEMOLISHED AND REMOVED, SHALL BE DISPOSED OF OFF-SITE AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS.

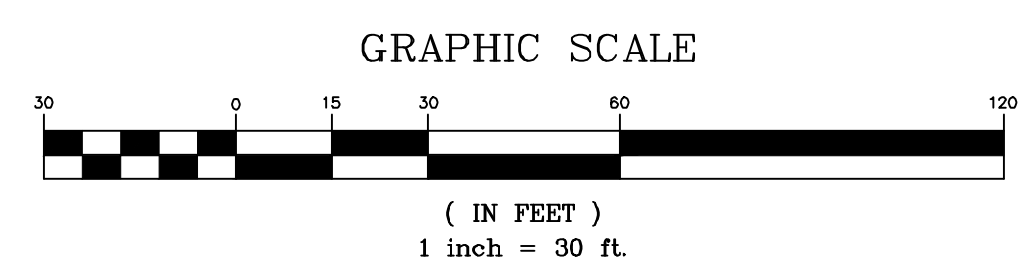
EXISTING CONDITIONS & DEMO LEGEND	
LIMITS OF DISTURBANCE	---
PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
RIGHT OF WAY LINE	---
EXISTING GAS VALVE	GV
EXISTING FIRE HYDRANT	●
EXISTING FIRE HYDRANT TO BE REMOVED	●
EXISTING WATER TO REMAIN	W
EXISTING WATER TO BE REMOVED	W
EXISTING SEWER TO REMAIN	SS
EXISTING STEAM TO REMAIN	HW
EXISTING OVERHEAD UTILITIES	OH
EXISTING OVERHEAD UTILITIES TO BE REMOVED	OH
EXISTING UNDERGROUND ELECTRIC	UE
EXISTING UNDERGROUND COMMUNICATION	---
EXISTING STORM PIPE / STRUCTURE TO REMAIN	---
EXISTING STORM PIPE / STRUCTURE TO BE REMOVED	---
CONCRETE TO BE REMOVED	---
ASPHALT TO BE REMOVED	---

DEVELOPMENT DATA	
OWNER/DEVELOPER:	WESTERN CAROLINA UNIVERSITY 3476 OLD CULLOWHEE ROAD CULLOWHEE, NC 28723 CURTIS MONTETH (828) 277-7441
CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 GREGORY R. HOFFMAN, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	JOEL JOHNSON LAND SURVEYING, INC. 701 OLD SETTLEMENT ROAD SLYVA, NC 28779 JOEL JOHNSON (828) 586-6488
CONTACT:	
PROJECT DATA	
PIN:	7559-23-1452
ADDRESS:	490 & 554 CENTRAL DRIVE, CULLOWHEE
DEED BOOK/PAGE:	427/399
SITE ACREAGE:	196.8 ACRES
ZONING:	N/A
DISTURBED AREA:	2.92 AC



NORTH

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



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(t) 704/338-1292



Western
Carolina
University

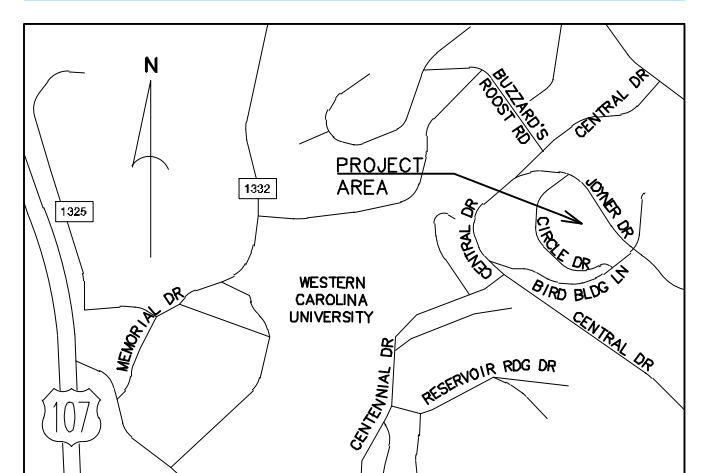
156 Joyner Dr,
Cullowhee, NC 28723

JOYNER DRIVE

TAG DESCRIPTION	DATE
DMS ADDENDUM NO.2	02/21/2024
WATER LINE CHANGES	

Project: 22146
SCO ID: 22-24697-01G
Drawn By: DMS
Checked By: GRH
Date: 02.21.2024
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EXISTING
CONDITIONS &
DEMO PLAN



EARLY JOYNER DRIVE/
INFRASTRUCTURE
BID SET

C101B

File Path

NOTES

- SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
- NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
- TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDDING WORK.
- SOIL GROUP: C/D & B/C**
- STREAM INFORMATION:
INDEX: 2-79-(30)
NAME: TUCKASEGEE RIVER
CLASSIFICATION: B/T
RIVER BASIN: LITTLE TENNESSEE
- RETAINING WALLS:
ALL RETAINING WALL ELEVATIONS SHOWN ARE FROM TOP OF WALL TO FINISH GRADE ELEVATION. CONTRACTOR TO ACCOUNT FOR FOOTER/COVER OVER FOOTER. REFER TO WALL DESIGN FOR FOOTER DESIGN. WALL DESIGN TO ALSO ACCOMMODATE STORM PIPE PENETRATIONS PER PLANS.
WALL DESIGN TO INCLUDE FOOTING DRAIN AND #57 WASHED STONE BEHIND WALL UP TO THE FULL DEPTH OF THE AREA OF GEOTEXTILE FROM BOTTOM TO TOP OF WALL.
ALL RETAINING WALLS PROVIDING A CHANGE OF GRADE OF 30" OR MORE SHALL BE PROTECTED WITH A GUARDRAIL. THE GUARDRAIL SHALL BE 42" MINIMUM IN HEIGHT, AND PREVENT THE PASSAGE OF A 24" SPHERE UNLESS ADJACENT TO A WALKING SURFACE. COORDINATE BARRIER STYLE AND COLOR WITH ARCHITECT AND ENGINEER. SEE SITE PLAN FOR APPROXIMATE LOCATION OF FENCING/BARRIERS.
CONTRACTOR TO SUBMIT TO OWNER AND ENGINEER FOR REVIEW PRIOR TO ORDERING MATERIALS. CONTRACTOR TO COORDINATE WALL STYLE AND COLOR WITH ARCHITECT AND ENGINEER.
CONTRACTOR RESPONSIBLE FOR OBTAINING BUILDING PERMIT FOR ALL RETAINING WALLS PRIOR TO ORDERING MATERIALS OR CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING RETAINING WALLS IN ACCORDANCE WITH ALL WALL MANUFACTURERS STANDARDS AND SPECIFICATIONS.
ALL RETAINING WALLS 4' OR GREATER TO BE SUBMITTED TO THE STATE CONSTRUCTION OFFICE FOR REVIEW AND APPROVAL AND CERTIFIED BY THE WALL ENGINEER UPON COMPLETION.

PHASE I CONSTRUCTION SEQUENCE:

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG WORK LIMITS AND MARK TREE & BUFFER AREAS FOR PROTECTION.
- HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.
- DO NOT CONDUCT MAJOR GRADING ACTIVITIES DURING WET WEATHER OR PERIODS OF PREDICTED WET WEATHER.
- INSTALL ALL EROSION CONTROL MEASURES AS REQUIRED BY NCDCQ INCLUDING: SILT FENCES, MATS, BARRIERS, AND DIVERSION DITCHES AS NEEDED.
- CALL NCDCQ INSPECTOR TO APPROVE PERIMETER EROSION CONTROL DEVICES.

ROUGH GRADING & EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE	---
SILT FENCE	---
CONSTRUCTION FENCE	---
TEMPORARY PIPE	---
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EMERGENCY VEHICLE ACCESS ROUTE	---
TEMPORARY DIVERSION DITCH	---
PERMANENT DIVERSION DITCH	---
TEMPORARY WATERBAR	---
STONE INLET PROTECTION	---

DEVELOPMENT DATA

OWNER/DEVELOPER:	WESTERN CAROLINA UNIVERSITY 3478 OLD CULLOWHEE ROAD CULLOWHEE, NC 28723 (828) 277-7441
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PROJECT DATA	
PIN:	7559-23-1452
ADDRESS:	490 & 554 CENTRAL DRIVE, CULLOWHEE
DEED BOOK/PAGE:	427/399
SITE ACREAGE:	196.6 ACRES
ZONING:	N/A
DISTURBED AREA:	2.92 AC

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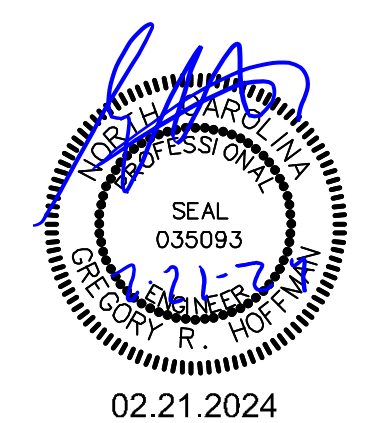
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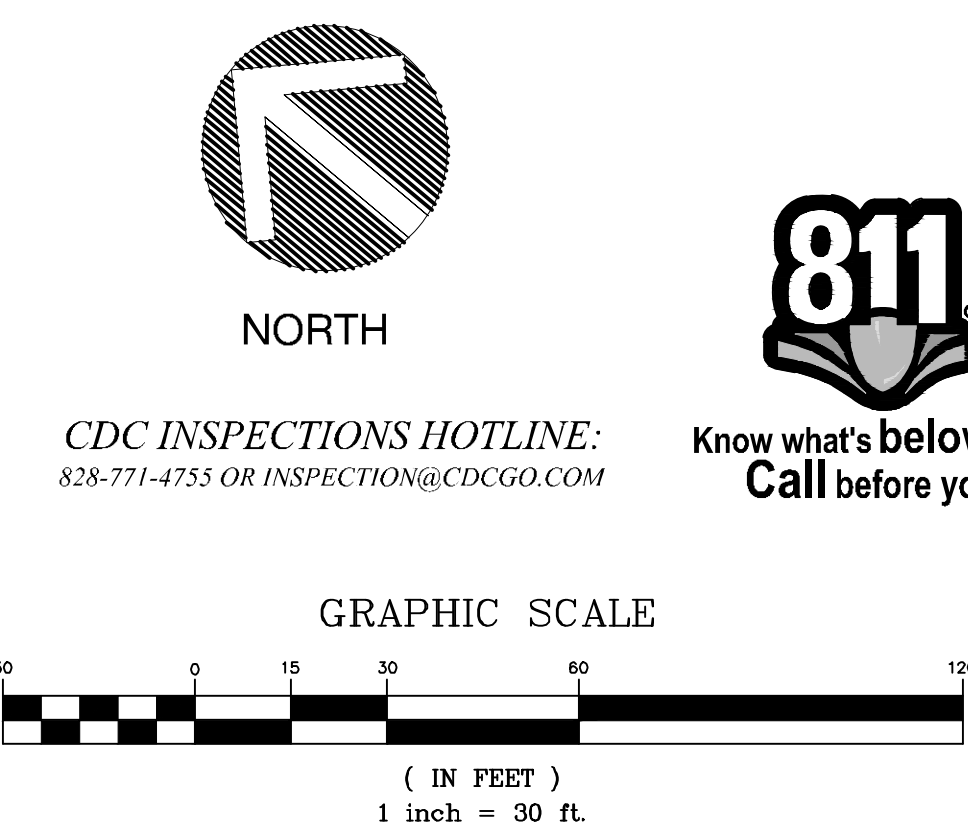
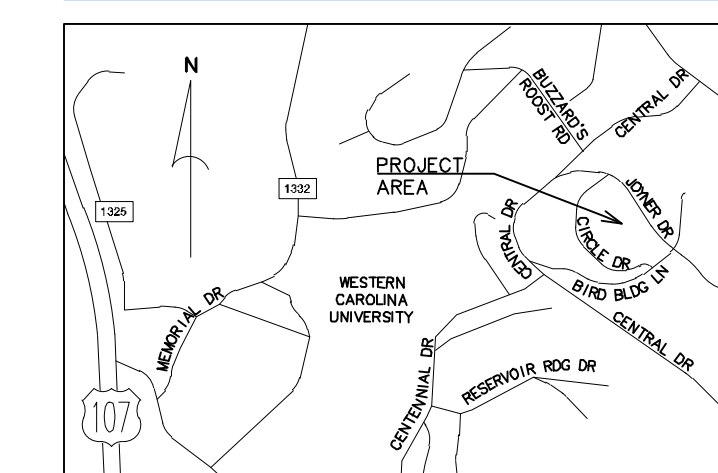
156 Joyner Dr,
Cullowhee, NC 28723

JOYNER DRIVE

TAG DESCRIPTION	DATE
DMS ADDENDUM NO.2	02/21/2024
WATER LINE CHANGES	

Project: 22146
SCO ID: 22-24697-01G
Drawn By: DMS
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Date: 02.21.2024
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ROUGH GRADING &
EROSION CONTROL PLAN
PHASE I



EARLY JOYNER DRIVE/
INFRASTRUCTURE
BID SET

C301B

File Path

NOTES

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- SOIL GROUP: C0 & B0**
- STREAM INFORMATION:
INDEX: 2-79-(30)
NAME: TUCKERSEE RIVER
CLASSIFICATION: B/T
RIVER BASIN: LITTLE TENNESSEE
- RETAINING WALLS:
ALL RETAINING WALL ELEVATIONS SHOWN ARE FROM TOP OF WALL TO FINISH GRADE ELEVATION. CONTRACTOR TO ACCOUNT FOR FOOTER/COVER OVER FOOTER. REFER TO WALL DESIGN FOR FOOTER DESIGN. WALL DESIGN TO ALSO ACCOMMODATE STORM PIPE PENETRATIONS PER PLANS.
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PHASE II CONSTRUCTION SEQUENCE:

- PROCEED WITH CLEARING & GRUBBING AND ROUGH GRADING WHILE MAINTAINING EMERGENCY VEHICLE ACCESS TO UPPER CAMPUS.
- APPLY TEMPORARY SEEDING PER GROUND STABILIZATION SCHEDULE.
- STORMWATER RUNOFF FROM JOYNER DRIVE AND CIRCLE DRIVE IS TO BE CONVEYED TO EXISTING STRUCTURES A2 & B0 BEFORE AND DURING THE INSTALLATION OF THE PROPOSED STORM DRAINAGE SYSTEM B.
- CONSTRUCT PROPOSED STORM DRAINAGE SYSTEM WITH INLET AND OUTLET PROTECTION AS SHOWN TO CONTROL STORMWATER RUNOFF THROUGH SITE. UTILIZE DETAIL D3.04 (SHEET C931B) AS NEEDED TO DEWATER INSTALLATION TRENCHES.
- STORM DRAINAGE SYSTEM B SHALL BE INSTALLED BEFORE SYSTEMS C & D.
- REROUTE WATER LINE DURING THIS PHASE AFTER GRADING ACTIVITY IS COMPLETE. SEE SHEET C501 FOR ADDITIONAL INFORMATION.

ROUGH GRADING & EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE
SILT FENCE
CONSTRUCTION FENCE
TEMPORARY PIPE
EXISTING CONTOURS
PROPOSED CONTOURS
EMERGENCY VEHICLE ACCESS ROUTE
TEMPORARY DIVERSION DITCH
PERMANENT DIVERSION DITCH
TEMPORARY WATERBAR
STONE INLET PROTECTION

DEVELOPMENT DATA

OWNER/DEVELOPER: WESTERN CAROLINA UNIVERSITY
3478 OLD CULLOWHEE ROAD
CULLOWHEE, NC 28723
(828) 277-7441

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
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ASHEVILLE, NC 28801
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701 OLD SETTLEMENT ROAD
SLYVA, NC 28779
JOEL JOHNSON
(828) 586-6488

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DEED BOOK/PAGE: 427/399
SITE ACREAGE: 196.8 ACRES
ZONING: N/A
DISTURBED AREA: 2.92 AC

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Western Carolina University

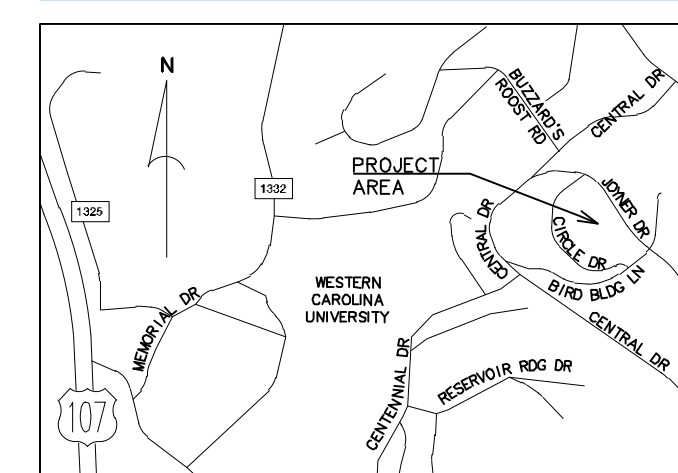
156 Joyner Dr,
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JOYNER DRIVE

TAG DESCRIPTION DATE
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WATER LINE CHANGES

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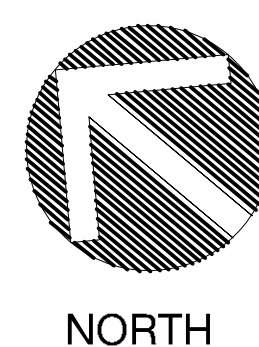
ROUGH GRADING &
EROSION CONTROL PLAN
PHASE II



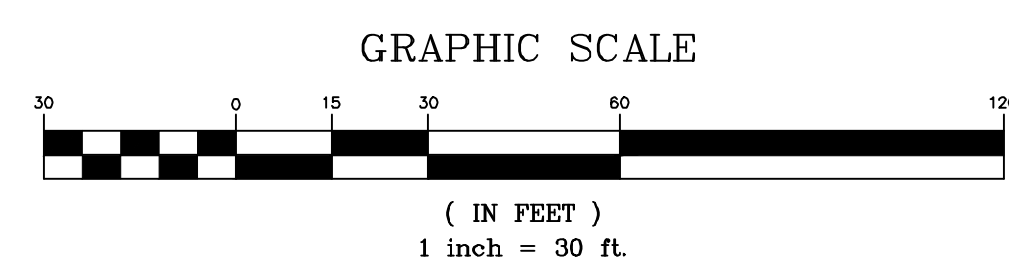
EARLY JOYNER DRIVE/
INFRASTRUCTURE
BID SET

C302B

File Path



CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



D

C

B

A

- NOTES**
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- PHASE III CONSTRUCTION SEQUENCE:**
- INSPECT STORM SYSTEM AND REMOVE ANY SEDIMENT. THEN REMOVE SEDIMENT BASIN AND INSTALL STORMWATER CONTROL MEASURE.
 - COMPLETE FINAL GRADING AND STABILIZE WITH PERMANENT SEEDING, MULCH, AND LANDSCAPE.
 - CALL NDEO ASHEVILLE REGIONAL OFFICE AT 828-296-4500 TO SCHEDULE FINAL INSPECTION PRIOR TO FILING NOTICE OF TERMINATION.
- MAINTENANCE INSPECTIONS SHALL BE PERFORMED WEEKLY AND AFTER EACH RAINFALL. ALL REPAIRS NECESSARY SHOULD BE MADE IMMEDIATELY AND IN STRICT ACCORDANCE WITH NDEO STANDARDS AND NPDES PERMIT.

- ROUGH GRADING & EROSION CONTROL LEGEND**
- LIMITS OF DISTURBANCE: ———— SF ————
SILT FENCE: ———— CF ————
CONSTRUCTION FENCE: ———— CF ————
TEMPORARY PIPE: ———— CF ————
EXISTING CONTOURS: ———— 00 ————
PROPOSED CONTOURS: ———— 00 ————
EMERGENCY VEHICLE ACCESS ROUTE: ———— 00 ————
TEMPORARY DIVERSION DITCH: ———— 00 ————
PERMANENT DIVERSION DITCH: ———— 00 ————
TEMPORARY WATERBAR: ———— 00 ————
STONE INLET PROTECTION: ———— 00 ————

- DEVELOPMENT DATA**
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- CONTACT: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
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(828) 252-5388
- CIVIL ENGINEER: JOEL JOHNSON LAND SURVEYING, INC.
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SLYVA, NC 28779
JOEL JOHNSON
(828) 586-6488
- SURVEYOR: JOEL JOHNSON LAND SURVEYING, INC.
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- CONTACT: JOEL JOHNSON LAND SURVEYING, INC.
701 OLD SETTLEMENT ROAD
SLYVA, NC 28779
JOEL JOHNSON
(828) 586-6488
- PROJECT DATA**
- PIN: 7559-23-1452
ADDRESS: 490 & 554 CENTRAL DRIVE, CULLOWHEE
DEED BOOK/PAGE: 427/399
SITE ACREAGE: 196.8 ACRES
ZONING: N/A
DISTURBED AREA: 2.92 AC

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(t) 704/372-6665

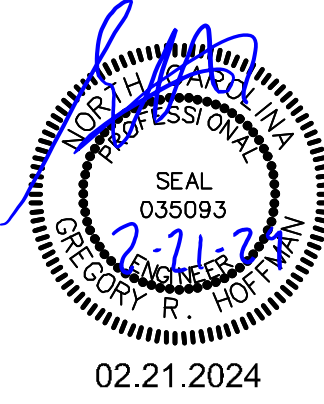
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OPTIMA ENGINEERING
AV Communications
1927 South Tryon Street #300
Charlotte, North Carolina 28203
(t) 704/338-1292



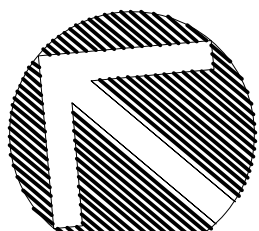
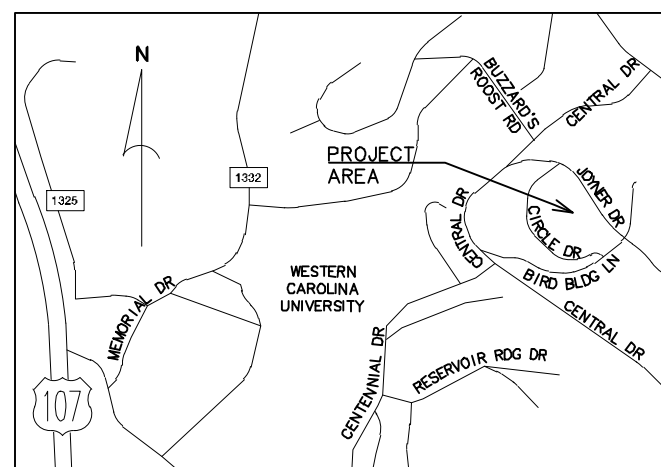
156 Joyner Dr,
Cullowhee, NC 28723

JOYNER DRIVE

TAG DESCRIPTION	DATE
DMS' ADDENDUM NO. 2 WATER LINE CHANGES	02/21/2024

Project: 22146
SCO ID: 22-24697-01G
Drawn By: DMS
Checked By: GRH
Date: 02.21.2024
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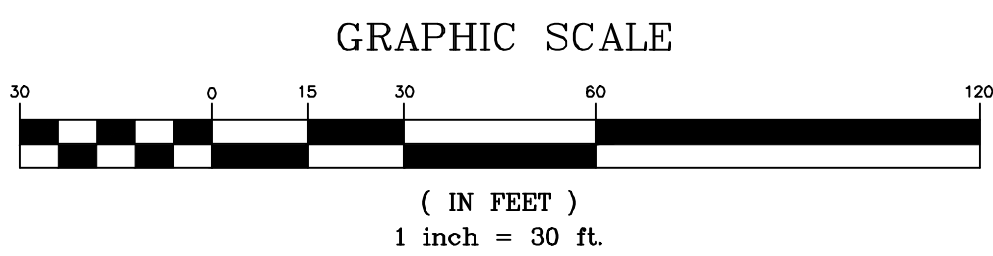
**ROUGH GRADING &
EROSION CONTROL PLAN
PHASE III**



NORTH



CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



1

2

3

4

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File Path

C303B

NOTES

- SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
- NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
- TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDDING WORK.
- SOIL GROUP: C0 & B0**
- STREAM INFORMATION:
INDEX NAME: 2-79-(30)
CLASSIFICATION: TUCKASSEE RIVER
RIVER BASIN: B.T.
LITTLE TENNESSEE

ALL RETAINING WALLS PROVIDING A CHANGE OF GRADE OF 30" OR MORE SHALL BE PROTECTED WITH A GUARDRAIL. THE GUARDRAIL SHALL BE 42" MINIMUM IN HEIGHT, AND PREVENT THE PASSAGE OF A 21" SPHERE UNLESS ADJACENT TO A WALKING SURFACE. COORDINATE BARRIER STYLE AND COLOR WITH ARCHITECT AND ENGINEER. SEE SITE PLAN FOR APPROXIMATE LOCATION OF FENCING/BARRIERS.

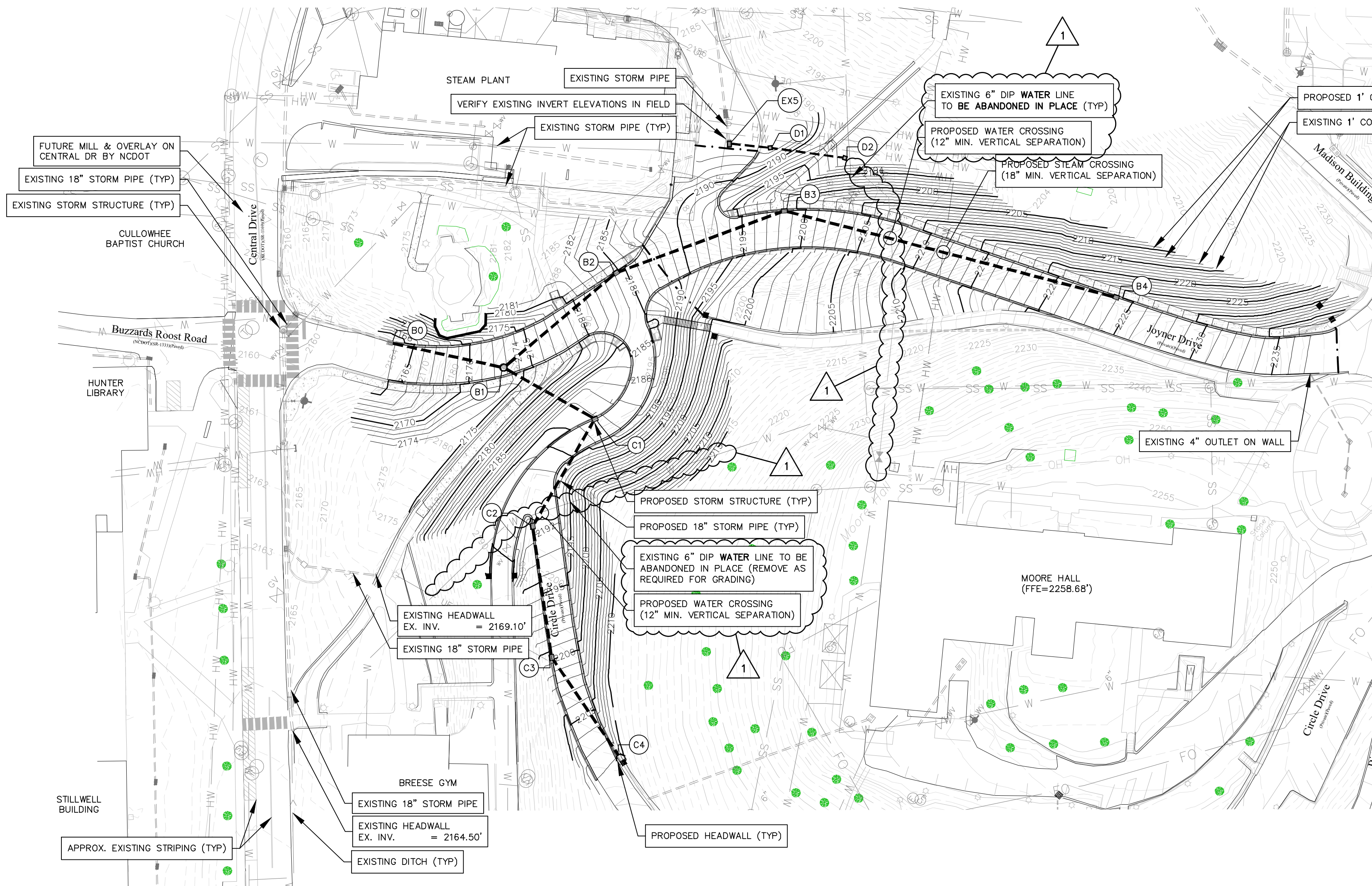
CONTRACTOR TO SUBMIT TO OWNER AND ENGINEER FOR REVIEW PRIOR TO ORDERING MATERIALS. CONTRACTOR TO COORDINATE WALL STYLE AND COLOR WITH ARCHITECT AND ENGINEER.

CONTRACTOR RESPONSIBLE FOR OBTAINING BUILDING PERMIT FOR ALL RETAINING WALLS PRIOR TO ORDERING MATERIALS OR CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING RETAINING WALLS IN ACCORDANCE WITH ALL WALL MANUFACTURERS STANDARDS AND SPECIFICATIONS.

ALL RETAINING WALLS 4' OR GREATER TO BE SUBMITTED TO THE STATE CONSTRUCTION OFFICE FOR REVIEW AND APPROVAL AND CERTIFIED BY THE WALL ENGINEER UPON COMPLETION.

PIPE TABLE (SLOPES BASED ON 2D LENGTH TO INSIDE EDGES)				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
B1-B0	18"	75'	6.7%	HDPE
B2-B1	18"	95'	11.9%	HDPE
B3-B2	18"	117'	11.7%	HDPE
B4-B3	18"	226'	11.2%	HDPE
C1-B1	18"	66'	12.6%	HDPE
C2-C1	18"	80'	8.6%	HDPE
C3-C2	18"	86'	8.6%	HDPE
C4-C3	18"	76'	12.5%	HDPE
D1-EX5	12"	25'	3.2%	HDPE
D2-D1	12"	48'	7.8%	HDPE

STRUCTURE TABLE (INVERTS BASED ON 2D LENGTH TO INSIDE EDGES)				
STRUCTURE	STATION	STRUCTURE DETAILS	DEPTH	DESCRIPTION
B1	10+78	RIM 2172.8 INV. IN 2168.0 (B2-B1) INV. IN 2170.0 (C1-B1) INV. OUT 2164.0 (B1-B0)	8.8'	JUNCTION BOX
B2	11+76	RIM 2184.4 INV. IN 2179.9 (B3-B2) INV. OUT 2178.3 (C1-B1)	5.1'	CURB INLET
B3	12+95	RIM 2199.9 INV. IN 2193.8 (B4-B3) INV. OUT 2193.6 (B3-B2)	5.3'	CURB INLET
B4	15+23	RIM 2224.0 INV. OUT 2219.2 (B4-B3)	4.8'	CURB INLET
C1	11+67	RIM 2189.5 INV. IN 2180.0 (C2-C1) INV. OUT 2178.3 (C1-B1)	11.2'	CURB INLET
C2	12+50	RIM 2192.4 INV. IN 2188.0 (C3-C2) INV. OUT 2186.8 (C2-C1)	5.6'	CURB INLET
C3	13+38	RIM 2200.5 INV. IN 2195.5 (C4-C3) INV. OUT 2195.4 (C3-C2)	5.1'	CURB INLET
C4	14+17	RIM 2207.1 INV. OUT 2205.0 (C4-C3)	N/A	HEADWALL
D1	10+27	RIM 2186.5 INV. IN 2183.2 (D2-D1) INV. OUT 2183.0 (D1-EX5)	3.4'	YARD INLET
D2	10+78	RIM 2192.0 INV. OUT 2186.8 (D2-D1)	5.0'	YARD INLET
EX5	10+00	RIM 2186.3 INV. IN 2182.3 (D1-EX5) INV. OUT 2182.1 (EX5-EX6)	4.2'	GRATE INLET



DEVELOPMENT DATA

OWNER/DEVELOPER: WESTERN CAROLINA UNIVERSITY
3478 OLD CULLOWHEE ROAD
CULLOWHEE, NC 28723
CURTIS MONTETH
(828) 277-7441

CONTACT:

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701 OLD SETTLEMENT ROAD
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JOEL JOHNSON
(828) 586-6488

CONTACT:

PROJECT DATA

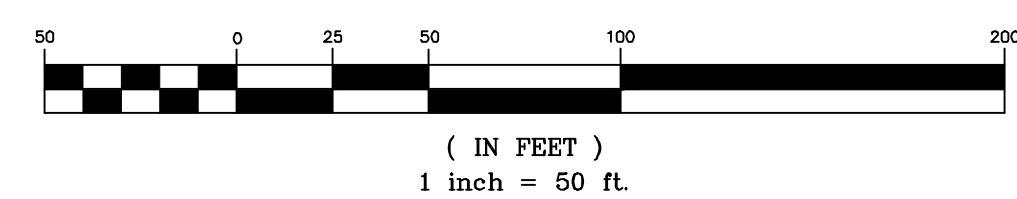
PIN: 7559-23-1452
ADDRESS: 490 & 554 CENTRAL DRIVE, CULLOWHEE
DEED BOOK/PAGE: 427/399
SITE ACREAGE: 196.6 ACRES
ZONING: N/A
DISTURBED AREA: 2.92 AC

STORM LEGEND

EXISTING STORM PIPE: ---
EXISTING STORM STRUCTURE: ■
PROPOSED STORM PIPE: - - - - -
PROPOSED CURB INLET STRUCTURE: □
PROPOSED JUNCTION BOX: □



GRAPHIC SCALE



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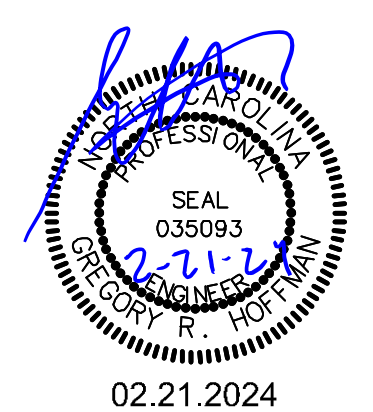
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Carolina
University

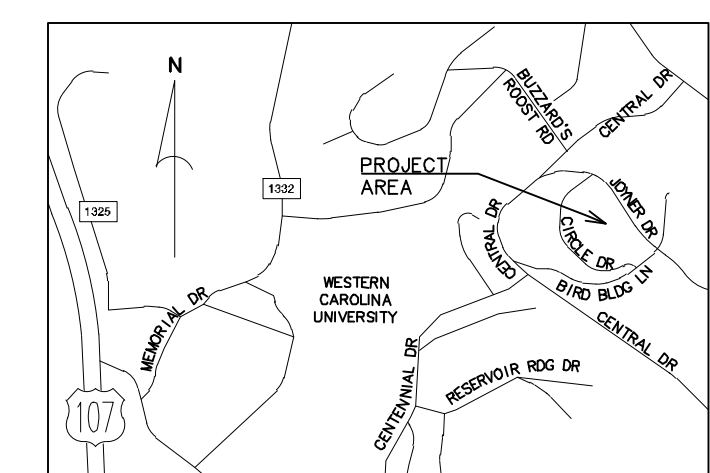
156 Joyner Dr,
Cullowhee, NC 28723

JOYNER DRIVE

TAG DESCRIPTION	DATE
DMS' ADDENDUM NO.2 WATER LINE CHANGES	02/21/2024

Project: 22146
SCO ID: 22-24697-01G
Drawn By: DMS
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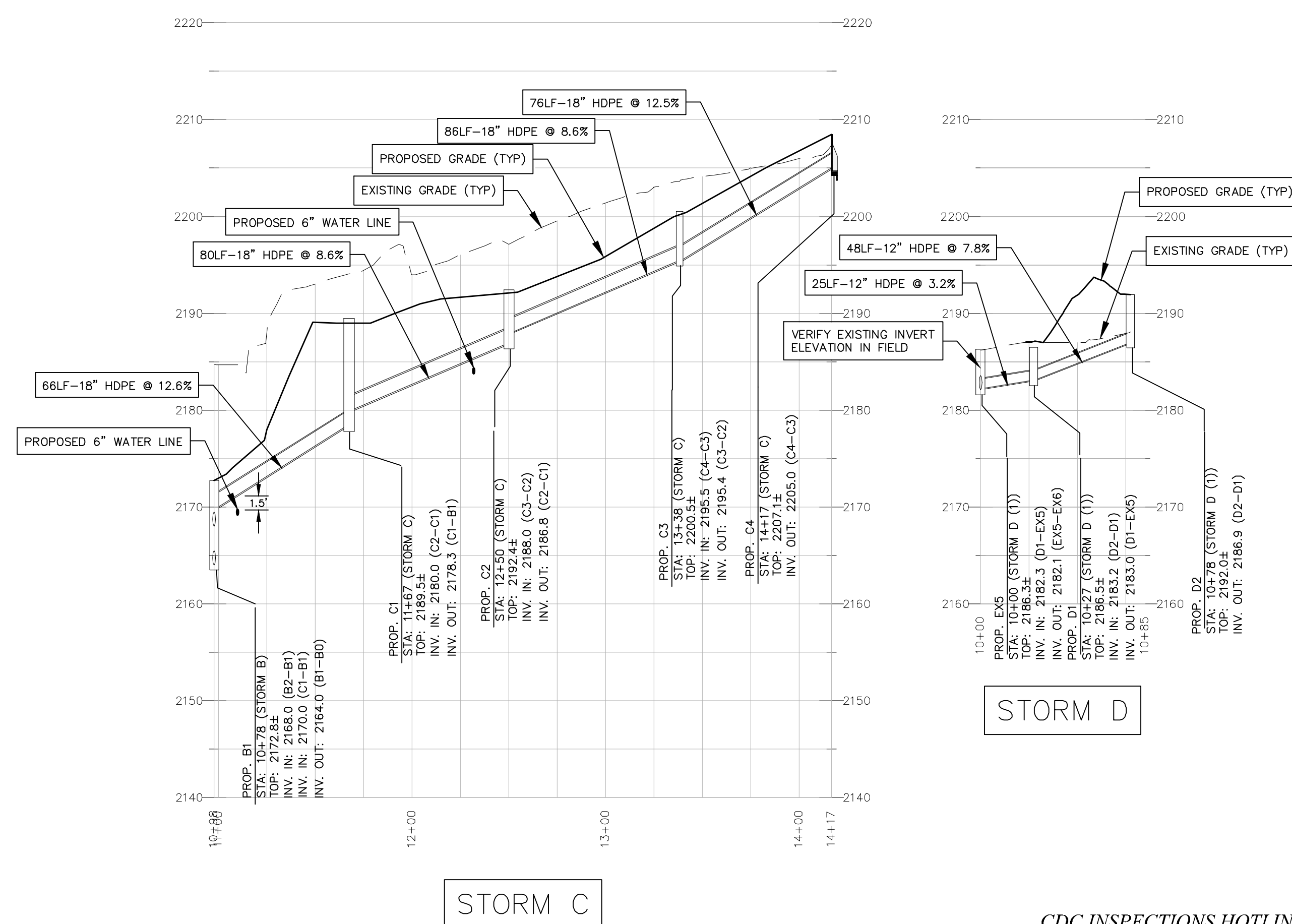
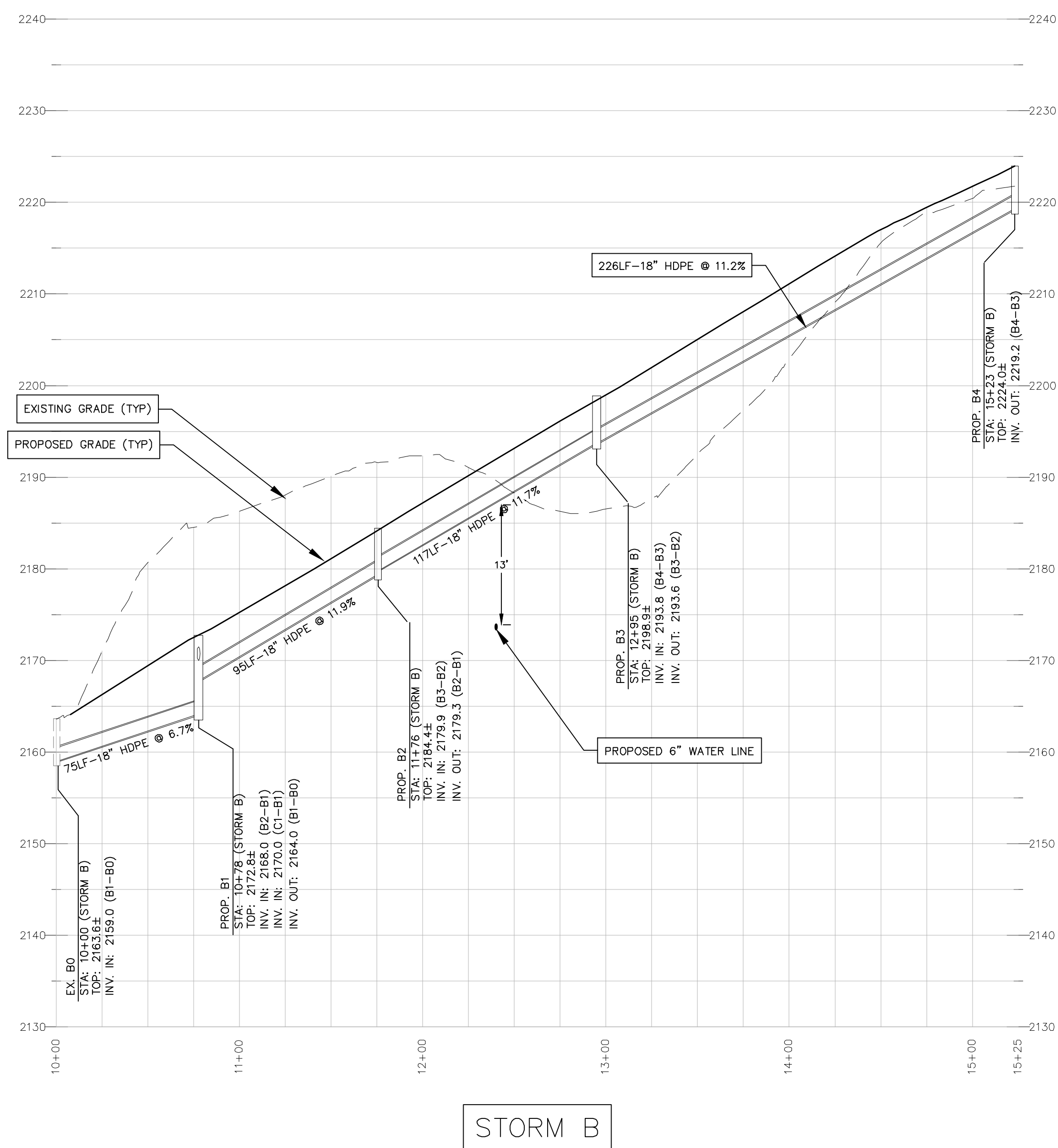
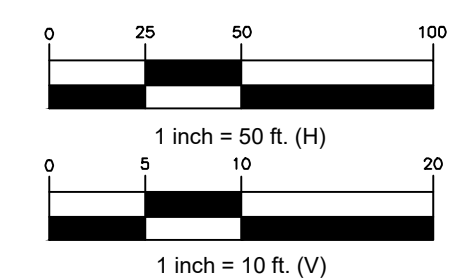
STORM PLAN & PROFILE



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828-771-4755 OR INSPECTION@CDCGO.COM

Know what's below.
Call before you dig.

NOTE:
THE PIPE LENGTHS, SLOPES, AND INVERTS SHOWN
IN THE ABOVE PROFILES ARE BASED ON A 2D
LENGTH AND MEASURED FROM INSIDE WALL TO
INSIDE WALL OF STRUCTURES. CONTRACTOR
SHALL VERIFY ALL INVERTS AND LINE LENGTHS
PRIOR TO CONSTRUCTION.



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- SEE UTILITY DETAIL SHEETS FOR ALL GENERAL WATER & SEWER NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL UTILITY PLANS.
- CROSSINGS TO MAINTAIN MSD REQUIRED VERTICAL SEPARATION. CONTRACTOR TO CONTACT ENGINEER ON ANY CROSSING THAT DOES NOT MEET THIS SEPARATION, OR SEPARATION IS CLOSER THAN 1'. REFER TO GENERAL NOTES ON SEWER DETAIL SHEET FOR SEPARATION REQUIREMENTS BETWEEN UTILITIES.
- TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDOING WORK.
- TYPICAL EASEMENTS FOR WATER/SEWER LINES LOCATED OUTSIDE ESTABLISHED UTILITY EASEMENTS OR ROAD RIGHT-OF-WAYS SHALL BE AS SHOWN. THE ENTIRE WATER/SEWER EASEMENT MUST BE CLEAR AND REMAINED CLEARED OF TREE PLANTINGS, EXISTING TREES, AND ANY PERMANENT STRUCTURES.
- NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
- THE AMENDED 2018 NCPG ADDED SECTION 306.2.4 TRACER WIRE. FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
- 2018 NC GAS CODE, SECTION 404.17.3 TRACER: AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO UNDERGROUND NONMETALLIC PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE ABOVEGROUND AT THE END OF THE NONMETALLIC PIPING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 18AWG AND THE INSULATION TYPE SUITABLE FOR DIRECT BURIAL.
- ALL UNDERGROUND LINES OUTSIDE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 6 INCHES TO 24 INCHES BELOW FINISHED GRADE DIRECTLY OVER PIPING.
 - METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2 INCHES WIDE, WITH LETTERING TO IDENTIFY BURIED LINE BELOW.



UTILITY LEGEND	
EXISTING WATERLINE	— W —
EXISTING WATER VALVE	⊕
EXISTING FIRE HYDRANT	⊕
EXISTING SEWER LINE	— SS —
EXISTING SEWER MANHOLE	⊙
EXISTING SEWER CLEANOUT	⊙
EXISTING STEAM LINE	— HW —
EXISTING STEAM MANHOLE	⊙
PROPOSED WATER LINE	— W —
PROPOSED WATER SERVICE	— W —
PROPOSED WATER METER	⊕
PROPOSED FIRE HYDRANT	⊕
PROPOSED GATE VALVE	⊕
PROPOSED AIR RELEASE VALVE	⊕

DEVELOPMENT DATA	
OWNER/DEVELOPER:	WESTERN CAROLINA UNIVERSITY 3478 OLD CULLOWHEE ROAD CULLOWHEE, NC 28723 (828) 277-7441
CONTACT:	
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CONTACT:	
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Western
Carolina
UNIVERSITY

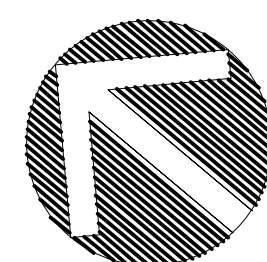
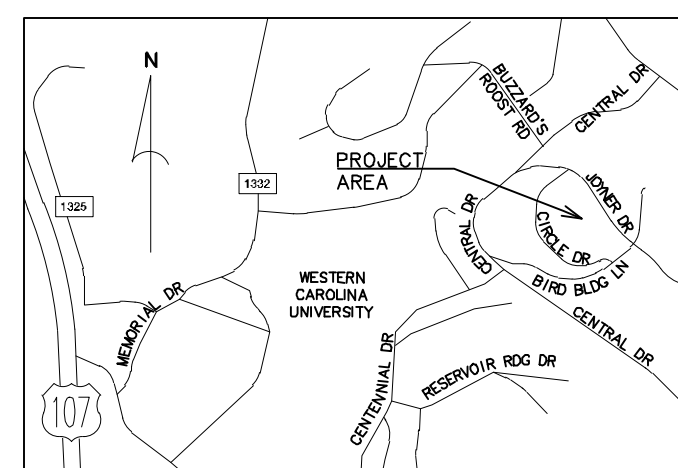
156 Joyner Dr,
Cullowhee, NC 28723

JOYNER DRIVE

TAG DESCRIPTION	DATE
DMS ADDENDUM NO.2	02/21/2024
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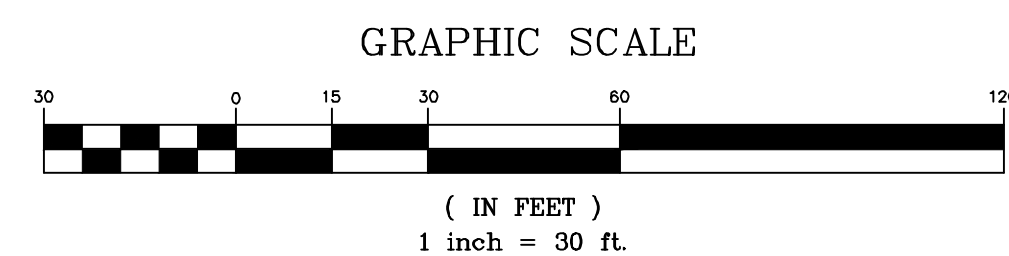
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UTILITY PLAN



NORTH

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EARLY JOYNER DRIVE/
INFRASTRUCTURE
BID SET

C601B

File Path